

Heritage Impact Assessment – Cafeteria Building, 2020 Lambs Road

June 16, 2025





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Cafeteria Building, circa 1930 (Clarington Library, Museum, & Archives)



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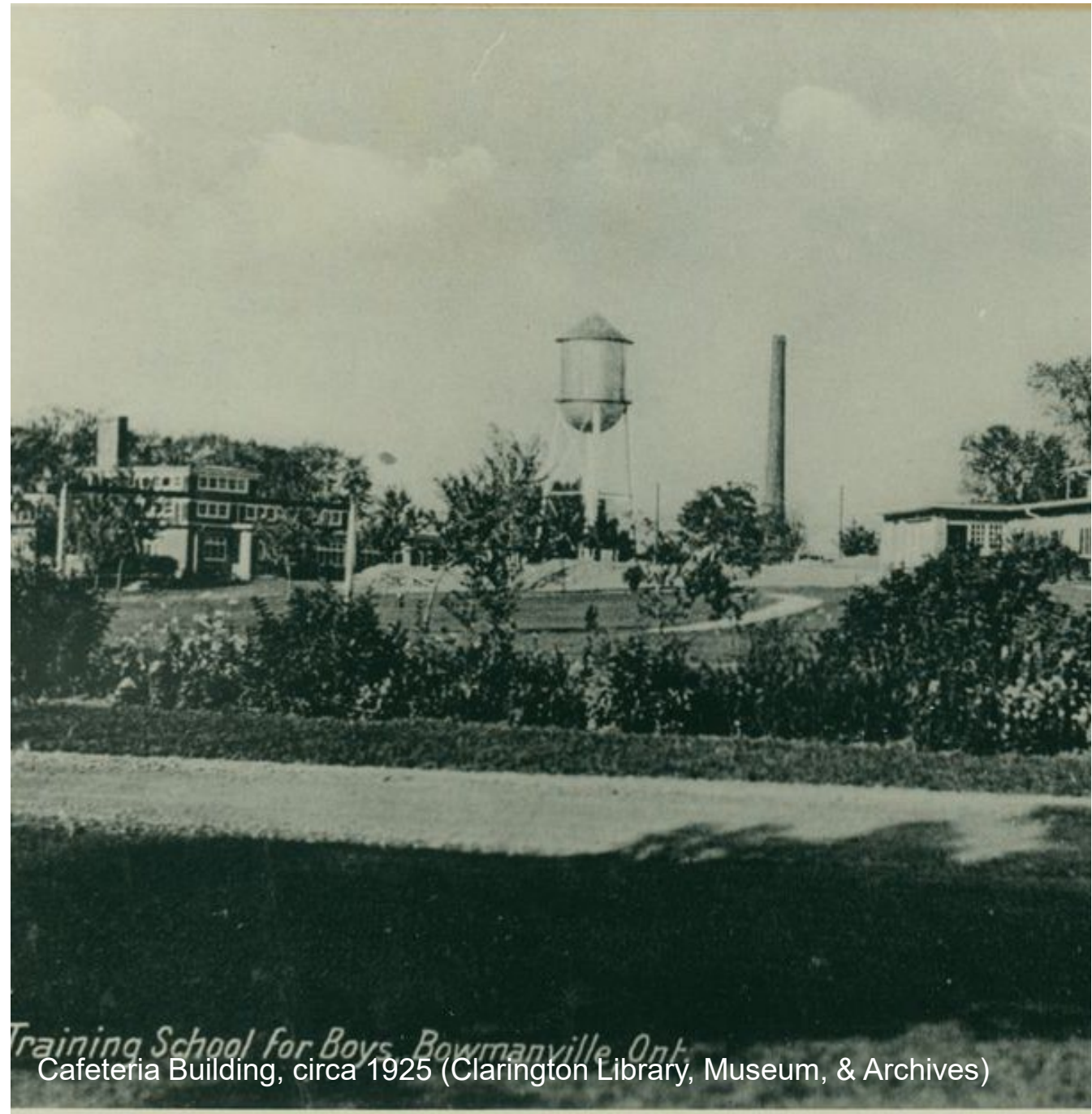
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Study Purpose

- Municipal staff were directed by Council on October 28, 2024, to undertake an HIA to provide alternative options and costing to commemorate the Cafeteria Building rather than full restoration, including consulting with the Heritage Committee and Jury Lands Foundation



Training School for Boys, Bowmanville, Ont.
Cafeteria Building, circa 1925 (Clarington Library, Museum, & Archives)



HIA Components

- Background Review
- Policy Analysis
- Historical overview of the Cafeteria Building and a high-level property chronology
- Statements of Cultural Heritage Value or Interest
- Visual assessment of the Existing Conditions
- Description of the Proposed Alteration and Proposed Alternatives
- Impact Assessment
- Considered Alternatives and Mitigation Strategies
- Consultation Summary
- Costing for Alternatives





Background Timeline



Policy Framework

Federal:

- No applicable policies or regulations that apply to the NHS – as it is not federally owned
- *The Standards and Guidelines for the Conservation of Historic Places Canada, 2010*

Provincial:

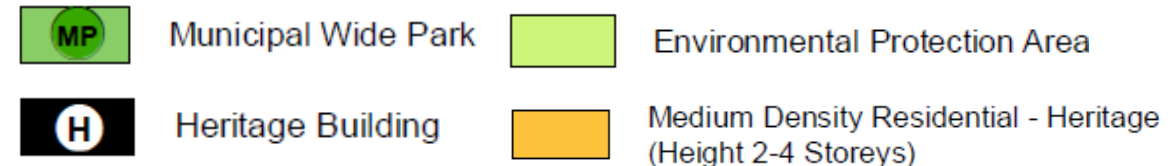
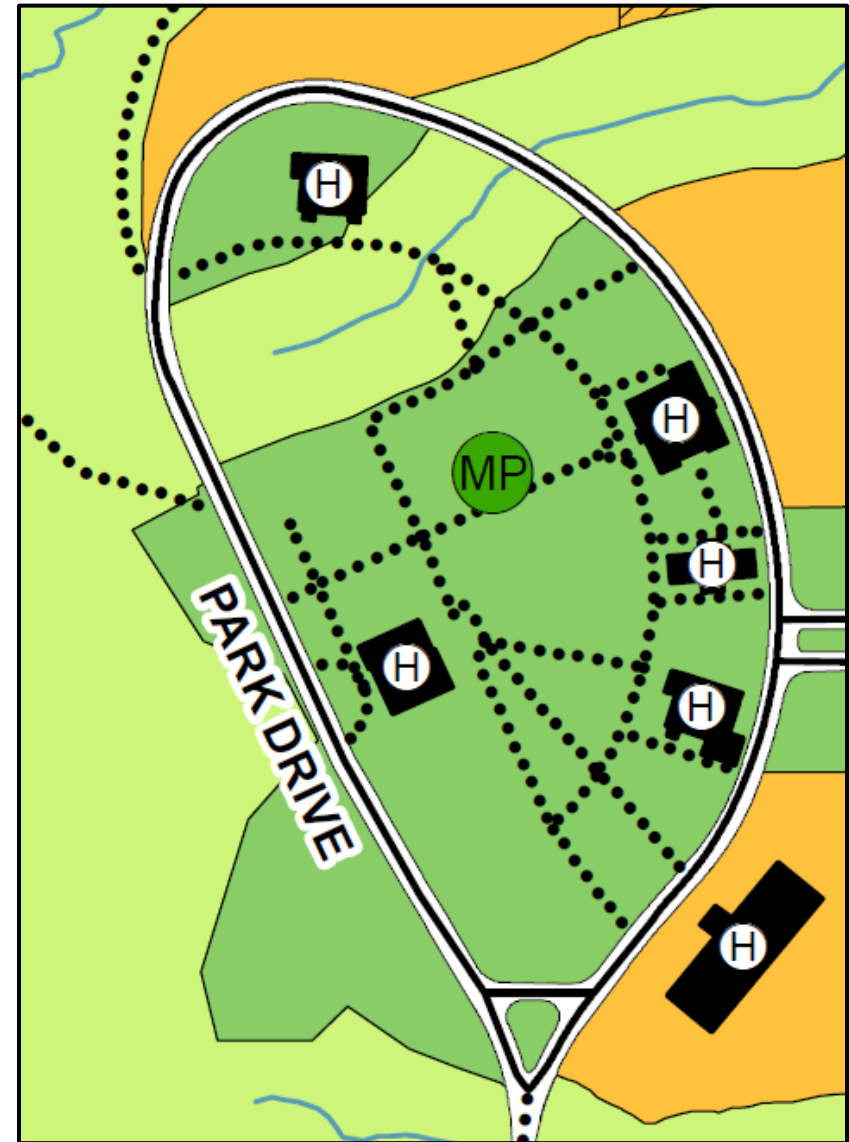
- Planning Act, 1990
- Provincial Planning Statement, 2024

Regional:

- Durham Region Official Plan, 2024

Municipal:

- Official Plan, 2018
- Official Plan Amendment 121 and Special Policy Area F, 2021





Identified Heritage Value – Cafeteria Building

- Spatial relationship between buildings across an open landscape reflective of campus-style plan
- Visual connection between buildings
- Prairie-Style buildings with masonry construction, finished with brick and stucco
- Long, low massing, flat roof, pronounced overhang
- Clerestory windows
- Large window openings with metal windows
- Simple, geometric terracotta ornamentation under eaves
- Large open interior flooded with natural light
- Tall brick chimney





Existing Conditions – Visual Assessment

Additional water and snow damage with excessive moisture on wood

Vegetation growing from chimney



Metal flashing has been warped or dislocated

Wood eaves have missing or dislocated sections



Existing Conditions – Visual Assessment for HIA



Deteriorated mortar joints



Deteriorated mortar and collapsed brick



Conservation Alternatives

- Generally, **retention *in situ*** is the preferred option when addressing a structure where CHVI has been identified
- The benefits of retaining and restoring a structure **must be balanced** with site-specific considerations
- For each alternative presented, there will be a range of options or considerations, including how much of the building, heritage attributes, or original materials can remain
- Costing is a **Class 5 estimate** intended to provide a realistic opinion of probable construction costs (direct and indirect)
- Costing does not include carrying costs for Municipality maintenance and staff, etc.





Option 1: Partial Retention *in Situ* with Adaptive Reuse - Active Use

- Combination of retention, stabilization, repair, and reconstruction of the ground floor of the structure including basement, foundation walls, and exterior masonry walls including window frame openings
- Masonry walls anticipated to need stabilization with steel supports or a new enclosed structure within the footprint
- Window openings would be retained with in-kind replacement window
- Uses could include a park washroom or concession facilities, community meeting or indoor recreation space, or commemorative space



Evergreen Brick Works (Fever 2025)



Architect drawing for Podzámčie Park (Global Design News 2022)



Option 1 – Cost Estimate

Retention of the main floor exterior brick walls with new building inside (approx. 8,000 sq. feet)

Description	Cost (CAN \$)
Construction Costs (shell, interiors, services, demolition/alterations)	\$3,406,844
Phasing Premium (2.5%), General Requirements (15%) and Fees (8%) Logistical constraints, staging of works, adjacent projects, agencies, authorities, etc.	\$930,238
Abatement work, Archaeological Assessment, and Heritage Mitigation Study	\$410,000
Professional Fees (10%) Design, engineering, inspections, permitting, etc.	\$474,708
Design and Construction Contingencies (40%) and Rate Escalation (7.49%)	\$2,490,869
Total Construction Cost Estimate:	\$7,712,660



Option 2: Partial Retention *in Situ* with Adaptive Reuse - Passive Use

- Combination of retention, stabilization, repair, and reconstruction of the ground floor of the structure including basement, foundation walls, and exterior masonry walls including window frame openings
- Masonry walls anticipated to need stabilization with steel supports or other bracing
- Walls more as a commemorative “ruin”
- Uses could include a picnic or pavilion space, community gardens, or commemorative gardens





Option 2 – Cost Estimate

Retention of the main floor exterior brick walls as a ruin with open outdoor space inside

Description	Cost (CAN \$)
Construction Costs (shell, interiors, services, demolition/alterations)	\$942,003
Phasing Premium (2.5%), General Requirements (15%) and Fees (8%) Logistical constraints, staging of works, adjacent projects, agencies, authorities, etc.	\$257,214
Abatement work, Archaeological Assessment, and Heritage Mitigation Study	\$410,000
Professional Fees (10%) Design, engineering, inspections, permitting, etc.	\$160,922
Design and Construction Contingencies (40%) and Rate Escalation (7.49%)	\$748,247
Total Construction Cost Estimate:	\$2,518,387



Option 3: Building Footprint Delineation

- Use of low “knee walls” or installation of materials at grade
- Preferred approach would be retention and support of portion of existing masonry walls and foundation with concrete cap
- Interior could include commemorative elements or vegetative plantings



Roman ruins with steel tower in Austria (Dezeen 2013)



Transparent interpretive panel at Hampton Plantation (Raynor On The Coast 2021)



Brick wall with concrete cap (Castle Group Construction 2025)



Option 3 – Cost Estimate

Retention of exterior walls with supporting materials to create an approx. 2ft high knee wall outlining the building footprint

Description	Cost (CAN \$)
Construction Costs (shell, interiors, services, demolition/alterations)	\$493,780
Phasing Premium (2.5%), General Requirements (15%) and Fees (8%) Logistical constraints, staging of works, adjacent projects, agencies, authorities, etc.	\$134,827
Abatement work, Archaeological Assessment, and Heritage Mitigation Study	\$410,000
Professional Fees (10%) Design, engineering, inspections, permitting, etc.	\$103,861
Design and Construction Contingencies (40%) and Rate Escalation (7.49%)	\$431,357
Total Construction Cost Estimate:	\$1,573,825



Option 4: Complete Demolition

- Building is demolished in its entirety with no physical features remaining or reconstructed to demarcate its location, footprint, or massing
- Mitigation measure are required to lessen or offset impacts to cultural heritage value





Option 4 – Cost Estimate

Full demolition of the building and salvage of a representative sample of materials

Description	Cost (CAN \$)
Construction Costs (shell, interiors, services, demolition/alterations)	\$430,180
Phasing Premium (2.5%), General Requirements (15%) and Fees (8%) Logistical constraints, staging of works, adjacent projects, agencies, authorities, etc.	\$117,461
Abatement work, Archaeological Assessment, and Heritage Mitigation Study	\$410,000
Professional Fees (10%) Design, engineering, inspections, permitting, etc.	\$95,764
Design and Construction Contingencies (40%) and Rate Escalation (7.49%)	\$386,393
Total Construction Cost Estimate:	\$1,439,798



Option 5: Complete Demolition and Replacement with New Building

- Building is demolished in its entirety
- A new building is constructed in the location of the Cafeteria Building in a sympathetic design that is reflective of the Prairie Style
- New structures would need to include: horizontal linear elements, flat or low-pitched roof, and masonry or stucco cladding that is complementary to remaining structures on site



Architectural style examples from the Urban Design Master Plan + Design Guidelines, dtah 2019



Option 5 – Cost Estimate

Full demolition of existing building and construction of new sympathetic designed one storey structure with flat roof and large windows

Description	Cost (CAN \$)
Construction Costs (shell, interiors, services, demolition/alterations)	\$3,924,554
Phasing Premium (2.5%), General Requirements (15%) and Fees (8%) Logistical constraints, staging of works, adjacent projects, agencies, authorities, etc.	\$1,071,599
Abatement work, Archaeological Assessment, and Heritage Mitigation Study	\$410,000
Professional Fees (10%) Design, engineering, inspections, permitting, etc.	\$540,615
Design and Construction Contingencies (40%) and Rate Escalation (7.49%)	\$2,856,885
Total Construction Cost Estimate:	\$8,803,654



Alternatives and Costing Estimates Overview

	Option 1 Partial retention (with new building inside)	Option 2 Partial retention (no new construction)	Option 3 Building footprint	Option 4 Complete demolition	Option 5 Complete demolition with new sympathetic building
Construction Costs	\$3,406,844	\$942,003	\$493,780	\$430,180	\$3,924,554
All other additional costs, professional fees, contingencies, escalation	\$4,305,816	\$1,576,384	\$1,080,045	\$1,009,618	\$4,879,100
Total Construction Cost Estimate:	\$7,712,660	\$2,518,387	\$1,573,825	\$1,439,798	\$8,803,654



Impacts and Mitigation Measures

All alternatives result in direct, irreversible impacts to the Cafeteria Building with varied levels of demolition or removal of the existing built elements

Alternative	Mitigation Measures
Partial retention <i>in situ</i> with adaptive reuse, either active or passive use	1) Documentation and Salvage Plan 2) Commemoration Plan 3) Site Plan Controls 4) Archaeological Assessment 5) Design Guidelines 6) Conservation Plan
Building Footprint	1) Documentation and Salvage Plan 2) Commemoration Plan 3) Site Plan Controls 4) Archaeological Assessment
Complete Demolition	1) Documentation and Salvage Plan 2) Commemoration Plan 3) Site Plan Controls 4) Archaeological Assessment
Complete Demolition and New Building	1) Documentation and Salvage Plan 2) Commemoration Plan 3) Site Plan Controls 4) Archaeological Assessment 5) Design Guidelines



Mitigation Measures

1) Documentation and Salvage Plan:

- Documentation carried out through photography, photogrammetry, and/or LiDAR scanning in advance to any changes made to the property
- Selective salvage of heritage attributes and other materials
- Salvage program and storage of materials to be coordinated by the Municipality

2) Commemoration Plan:

- Commemoration that acknowledges the important and complex history of the site
- Typically includes consultation with stakeholders, local heritage groups and museum, and other interested parties
- Integration of salvaged elements



123 Queens Exterior (Stantec 2019)



Horse Hill Hall (Stantec 2014)



Mitigation Measures

3) Site Plan –Type Controls

- Protective barrier to indicate where demolition or construction activities should be limited
- Identification of heritage structures and landscape elements on all demolition and construction plans
- Vibration monitoring for adjacent structures

4) Archaeological Assessment:

- Stage 1 completed in 2019 noted that archaeological resources could still exist, and an archaeological site was defined south of the Cafeteria Building
- Stage 2 Archaeological Assessment is recommended prior to any demolition/construction activities



Figure 5: Archaeological potential.

Stage 1 Archaeological Assessment (This Land Archaeology Inc.)



Mitigation Measures

5) Conservation Plan:

- If partial retention is the selected alternative, a Conservation Plan is required prior to removals to conserve the identified heritage attributes remaining
- The plan should include short-, medium-, and long-term conservation strategies for the heritage attributes that can be applied to their adaptive reuse

6) Design Guidelines:

- Similarly, if partial retention is the selected alternative, Design Guidelines are required to guide future use whether active or passive
- Should have visual consistency to the Prairie Style of the remaining site buildings, including massing, building/cladding materials, roof form, fenestration pattern, and architectural details





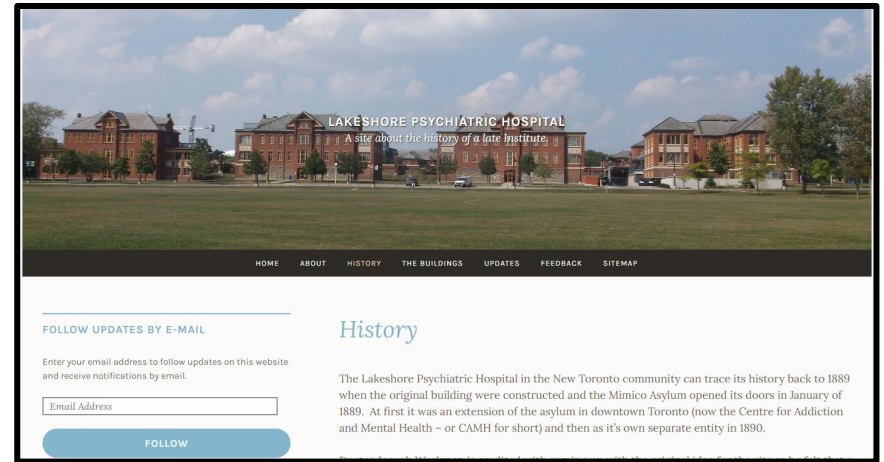
More Possible Mitigation Measures

Commemoration Centre:

- A small centre constructed within the Municipal Wide Park or within the larger cultural heritage landscape to house interpretive material, salvaged elements, and a community space
- Public-Private Partnership between Municipality, the adjacent Developer, and Jury Lands Foundation

Digital Resource:

- Complement and improve the longevity of the commemoration and preservation at the site
- Repository for the large number of studies on the property





Next Steps and Processes

Next Steps:

- Council's consideration of the HIA and Staff Report – June 16
- Implement Council Direction

Processes:

- Amendments to the Official Plan – should an alternative be directed other than full restoration, and amendment to the Camp 30 Special Policy Area F may be required.
- Heritage Permit
- Demolition Permit
- Updates to the Designation By-law and National Historic Site Statements of Cultural Heritage Value

Questions?

