

Amendment No. to the Clarington Official Plan

Purpose: The purpose of this Amendment is to add the Soper Hills Secondary Plan that includes a residential neighbourhood leading to a sustainable built form that protects the significant scale of the natural environment to the Clarington Official Plan. The Secondary Plan includes Urban Design and Sustainability Guidelines, which are not an operative part of the Clarington Official Plan

The Soper Hills Secondary Plan creates a planning framework that will guide and facilitate the development of a complete community consisting of residential, commercial, natural environmental features, and recreation opportunities in the Secondary Plan area.

Location: This Amendment applies to a 193-hectare area located on the east side of Bowmanville. The Secondary Plan Area is generally bounded by Regional Highway 2 to the south, Lambs Road to the west, the Canadian Pacific Railway to the north, and Providence Road, as well as its unopened road allowance.

Basis: The Bowmanville East (Soper Hills) Landowners Group is an incorporated body representing the majority of the land within the Secondary Plan Area. Weston Consulting, on behalf of the landowners group, requested the initiation of the Secondary Plan process in early 2018. Council authorized the commencement of the Soper Hills Secondary Plan in April 2018.

This Secondary Plan is based on extensive technical studies and public engagement. It incorporates recommendations of the Soper Creek Subwatershed Study and has been informed by a Preferred Land Use Alternative Report, a Functional Servicing Study, a Transportation Impact Assessment, and a Background and Analysis Summary Report. Public and landowner input was received through Public Information Centres held in March 2019, June 2022 and December 2023, as well as through Steering Committee Meetings.

**Actual
Amendment:**

Unless otherwise indicated, in the Amendment, newly added text is shown with underlining, and deleted text is shown with a strike-through.

The Clarington Official Plan is hereby amended as follows:

1. Existing Clarington Official Plan, Map C Secondary Plan Areas Clarington Urban Areas, is amended by changing the status to 'Completed' as demonstrated on Exhibit A.
2. Existing Clarington Official Plan, Map J3 Transportation Network Roads and Transit Bowmanville Urban Area, is amended by adding a new collector road and moving a collector road as demonstrated on Exhibit B.
3. Existing Part Six, Section 3 "General Policies for Secondary Plans" is hereby amended as follows:

"3. Secondary Plans have been prepared for the following areas:

- a) Bowmanville East Urban Centre;
 - b) Bowmanville West Town Centre;
 - c) Courtice Main Street;
 - d) Newcastle Village Main Central Area;
 - e) Port Darlington Neighbourhood;
 - f) Bayview (Southwest);
 - g) Clarington Energy Business Park;
 - h) Brookhill Neighbourhood;
 - i) Clarington Technology Business Park;
 - j) Foster Northwest;
 - k) Southeast Courtice; ~~and~~
 - l) Wilmot Creek Neighbourhood; and
 - m) Soper Hills
4. Existing Part Six, SECONDARY PLANS, is amended by adding the Soper Hills Secondary Plan shown in **Attachment 1**.

Exhibit 'A', Amendment No. To the Municipality of Clarington Official Plan, Map C.

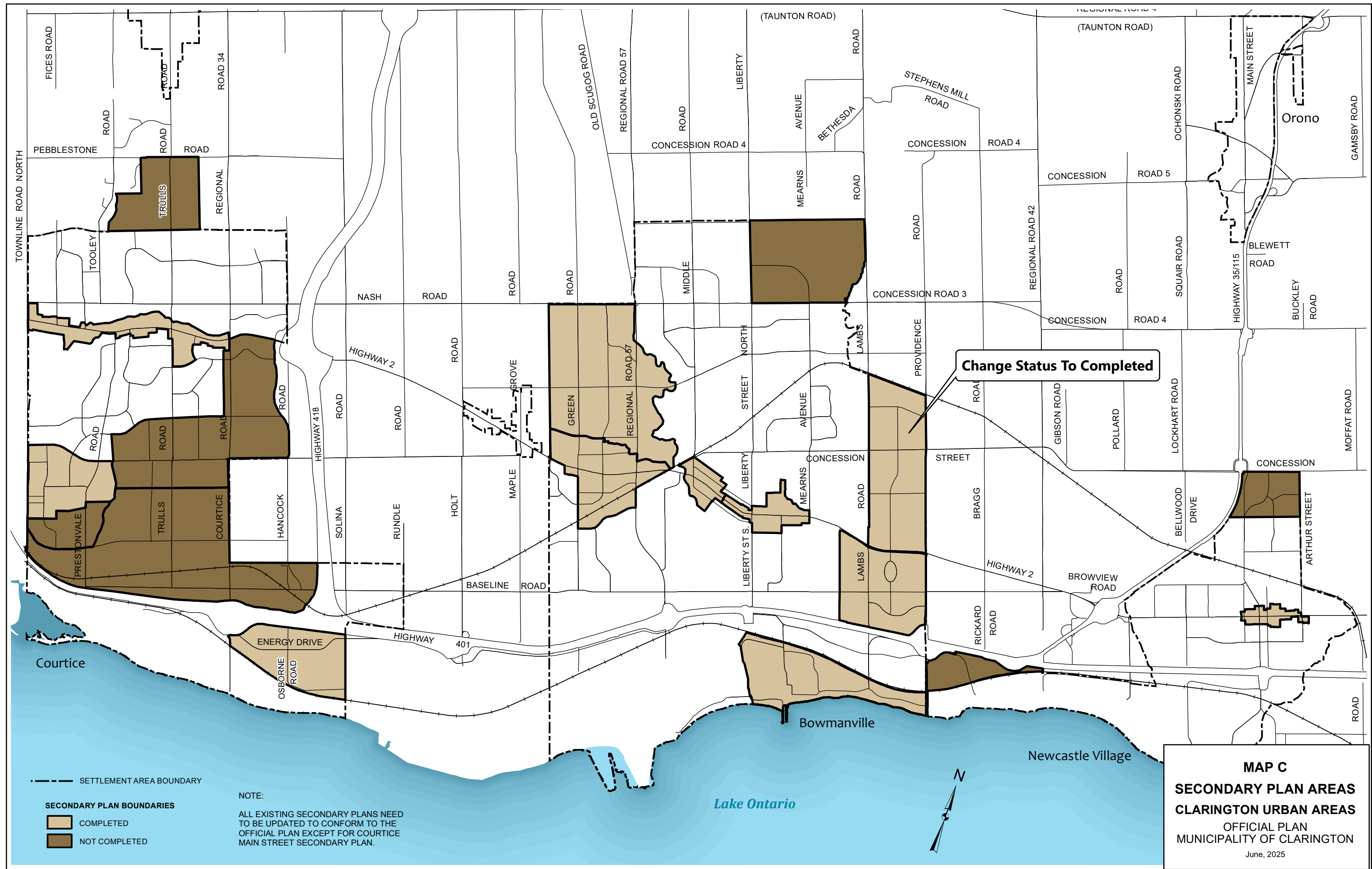


Exhibit 'B', Amendment No. To the Municipality of Clarington Official Plan, Map J3.

